

BRIGGS WOODS PUMPHOUSE REPLACEMENT

WEBSTER CITY, IA

2022

GOVERNING SPECIFICATIONS

THE IOWA NRCS "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND ANY SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN, EXCLUDING DIVISION I.

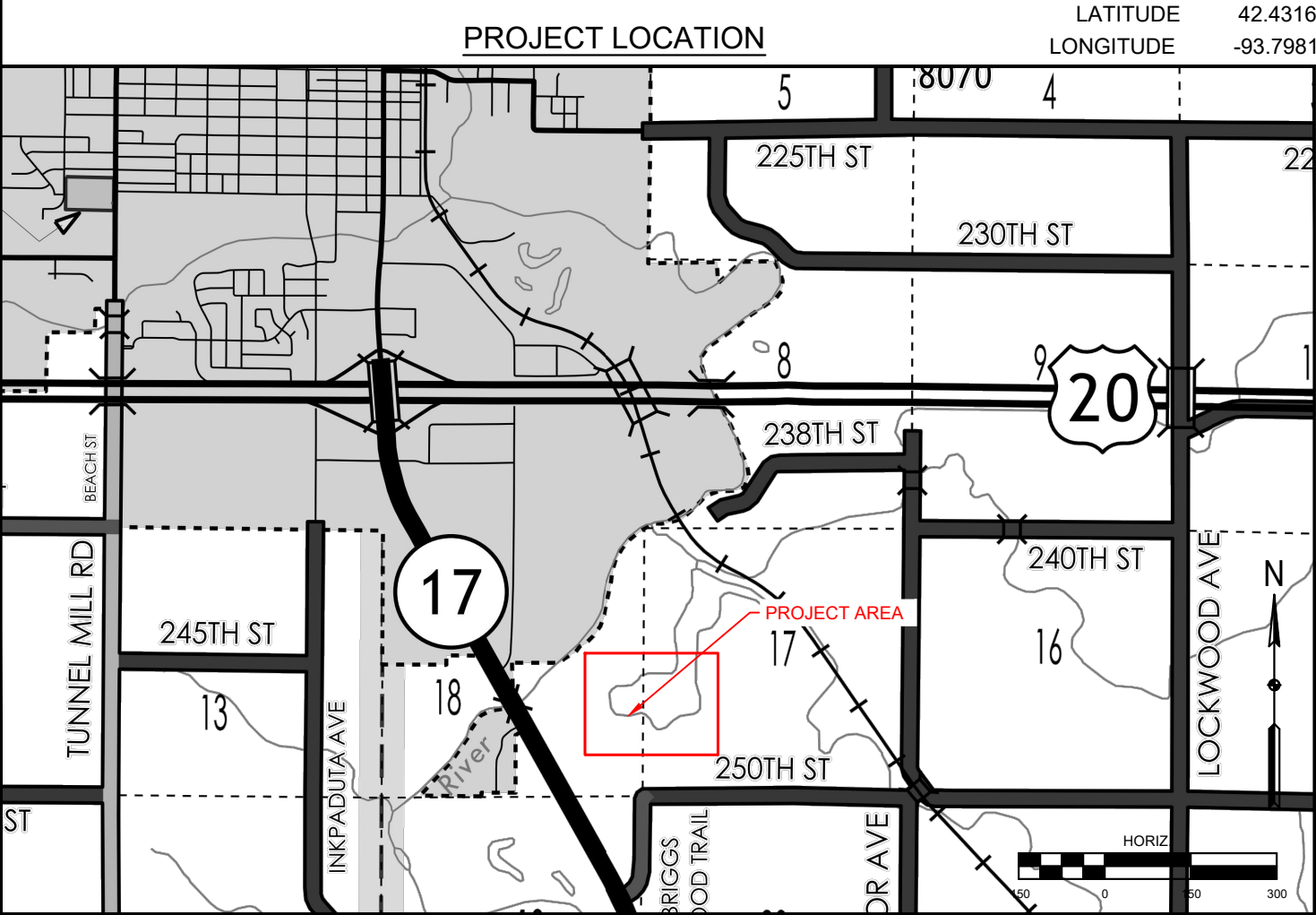
NOTES:

- WHERE PUBLIC UTILITY FIXTURES OR FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION INVOLVING EXCAVATION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES OR RELOCATION. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND UTILITY OPERATOR LOCATION MARKINGS THAT WERE REQUESTED THROUGH GOPHER STATE ONE CALL; THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. TYPE, SIZE AND GENERAL LOCATION OF THE FACILITIES WERE REQUESTED OF THE OPERATORS AND SHOWN ON THE PLANS, AND IF NECESSARY, UPDATED WITHIN 90 DAYS OF COMPLETION OF THE FINAL PLANS. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY THE WORK.
- IOWA ONE CALL TELE: 811 OR 1-800-292-8989.
- CONTRACTOR SHALL COORDINATE UTILITY RELOCATIONS WITH THE UTILITY COMPANIES, THIS SHALL BE INCIDENTAL TO THE PROJECT.

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2022 HAMILTON COUNTY CONSERVATION BOARD

EXECUTIVE DIRECTOR	BRAIN LAMMERS
PRESIDENT	DENNIS BAHR
VICE PRESIDENT	DIANE SINCLAIR
SECRETARY	JIM RICHARDSON
BOARD MEMBER	MIKE BRANDRUP
BOARD MEMBER	JAY HEEREN
GOLF COURSE SUPERINTENDENT	TYLER BROWN

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY ONLY - NOT FOR CONSTRUCTION
Name _____
Date _____ License No. _____



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GENERAL NOTES

1.

ALL ELEVATIONS SHOWN ARE REFERENCES TO THE CONTROL POINTS SHOWN ON THIS SHEET.
2.

ANY REFERENCE TO AN IOWA DOT HIGHWAY STANDARD IN THESE PLANS SHALL BE INTERPRETED TO MEAN THE EDITION AS INDICATED BY THE SUB-NUMBER LISTED ON THE SHEET.
3.

RIGHT-OF-WAYS, PROPERTY LINES, AND TOPOGRAPHY SHOWN HEREON HAVE BEEN TAKEN FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO THEIR OWN SATISFACTION.
4.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING CONTRACTOR PARKING AND CONSTRUCTION.
5.

PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
6.

THE ARCHITECT/ENGINEER WILL PERFORM COMPACTION AND CONCRETE TESTING IN ACCORDANCE WITH THE SPECIFICATIONS.
7.

THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION LAYOUT AND STAKING.
8.

ALL TEMPORARY AGGREGATE SHALL BE REMOVED, GRADED, SEEDED AND MULCHED AS NECESSARY AT THE COMPLETION OF THE CONTRACT.
9.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS DIRECTED BY THE ARCHITECT/ENGINEER.
10.

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SOIL EXPOSED BY DISTURBANCE DUE TO THEIR OPERATIONS. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL IN ACCORDANCE WITH SECTION __ OF THE IOWA DOT STANDARD SPECIFICATIONS AS OUTLINED IN THE PLANS. NO ADDITIONAL COMPENSATION IS ALLOWED FOR TEMPORARY EROSION CONTROL.
11.

THE CONTRACTOR SHALL MULCH SLOPES 1:4 (V:H) AND STEEPER BY CONSTRUCTING EROSION CONTROL BLANKET IN ACCORDANCE WITH SECTION __ OF THE IDOT STANDARD SPECIFICATIONS. THE EROSION CONTROL BLANKET SHALL BE EXCELSIOR BLANKET.
12.

STORE TOPSOIL ON SITE AT AN APPROVED LOCATION AS DIRECTED BY THE ACHITECT/ENGINEER
13.

EXCAVATION AND BACKFILL:

13.1.

CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL VEGETATION AFFECTING CONSTRUCTION WITHIN THE CONSTRUCTION LIMITS SHOWN ON THE PLAN IN ACCORDANCE WITH THE SPECIFICATIONS UNLESS OTHERWISE NOTED IN THE PLANS. ALL REMOVED VEGETATION SHALL BE DISPOSED OF WITHIN 7 DAYS OF REMOVAL.

13.2.

AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF 6" AND COMPACTED TO MINIMUM 95% COMPACTION FRO ALL LIFTS BASED ON THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH THE SPECIFICATIONS.

13.3.

PLACE AND COMPACT FILL IN LIFTS NOT TO EXCEED 8: WHEN IN LOOSE CONDITION. FILL SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.

13.4.

THE CONTRACTOR SHALL DISPOSE OF ALL UNSTABLE AND/OR UNSUITABLE MATERIALS RESULTING FROM CONSTRUCTION OF THIS PROJECT. SUCH MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR AT THEIR OWN EXPENSE OUTSIDE THE LIMITS OF OWNER PROPERTY IN SUCH A MANNER THAT PUBLIC OR PRIVATE PROPERTY WILL NOT BE DAMAGED OR ENDANGERED.

13.5.

PROPOSED COUNTOURS GENERALLY REFLECT ULTIMATE FINISH GRADE. FOR EARTH GRADES, THE FULL DEPTH OF PAVEMENT MUST BE SUBTRACTED FROM THE ELEVATIONS SHOWN. SEE PAVEMENT SECTION DETAILS AS APPLICABLE FOR ROADWAYS, SIDEWALKS AND PARKING AREAS.

13.6.

THE REMOVAL OF UNUSABLE AND UNSTABLE MATERIAL IN ALL CUT AND FILL AREAS AND THEIR REPLACEMENT WITH SATIFACTORY MATERIAL, WHERE REQUIRED, SHALL BE INCLUDED IN THE COST OF THE CONTRACT.

13.7.

CONTRACTOR SHALL PROVIDE EROSION AND SILTATION CONTROL, AS NEEDED, TO PREVENT DAMAGE OF THE OFFSITE PROPERTIES UNTIL VEGETATION IN ALL DISTURBED AREAS HAS BEEN ESTABLISHED, AT WHICH TIME HE SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TEMPORARY EROSION CONTRIL AND REPAIR OF ANY ERODED AREAS.

13.8.

THE CONTRACTOR SHALL GRADE AND PREPARE ALL SUBGRADES TO WITHIN 0.1 FEET OF THE PLAN GRADE.

13.9.

ALL TOPSOI, VEGETATION, ROOTS AND ANY SOFT SOILS SHALL BE STRIPPED FROM PROPOSED SIDEWALK AND PAVEMENT AREAS. SITE SHALL THEN BE PROOF-ROLLED, SCARIFIED AND PROCESSED TO THE OPTIMUM MOISTURE CONTENT TO ATTAIN REQUIRED COMPACTION DENSITY OF SUB-GRADE SOILS. REFER TO THE SOILS REPORT FOR ADDITIONAL INFORMATION.

13.10.

EXISTING SLOPES STEEPER THAN 1:4 (V:H) SHALL BE BENCHED PRIOR TO PLACEMENT OF FILL. BENCHES SHALL BE SPACED SUCH THAT THE MAXIMUM HEIGHT OF CUT AT THE UP-SLOPE RIDGE OF THE BENCH IS 5-FT.
14.

ANY PROPERTY CORNERS OR OTHER PERMANENT SURVEY CONTROL MONUMENTS DISTURBED BY CONSTRUCTION SHALL BE VERIFIED AND/OR RESET AT THE CONCLUSION OF THE PROJECT CONSTRUCTION BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF IOWA AND EMPLOYED BY THE CONTRACTOR. WRITTEN VERIFICATION SHALL BE PROVIDED TO THE OWNER, THROUGH THE ARCHITECT/ENGINEER, THAT ALL SAID EXISTING PROPERTY CORNERS AND/OR PERMANENT SURVEY CONTROL MONUMENTS SHOWN IN THE CONSTRUCTION PLANS HAVE BEEN PROTECTED AND/OR RESET.

15.

ABANDONED UNDERGROUND UTILITIES THAT CONFLICT WITH CONSTRUCTION SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF OWNER PROPERTY ACCORDING TO ARTICLE ____ OF THE IA-DOT STANDARD SPECIFICATIONS AND AS DIRECTED BY THE ARCHITECT/ENGINEER. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

16.

THE EXISTING UTILITY INFORMATION AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO THE CONTRACTOR'S OWN SATISFACTION PRIOR TO AND DURING CONSTRUCTION. THE ARCHITECT/ENGINEER AND THE OWNER DO NOT WARRANT OR GUARANTEE THE COMPLETENESS OR CORRECTNESS OF THE INFORMATION GIVE.

17.

NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITIES AND ANY DAMAGE TO THEM DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

18.

THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATION FAR ENOUGH IN ADVANCE OF THE WORK TO LOCATE EXISTING UTILITIES AND OBSTRUCTIONS SO THAT CORRECTIONS IN PROPOSED PIPE GRADE AND ALIGNMENT CAN BE MADE WITHOUT REMOVING PIPE ALREADY INSTALLED IN PLACE. ANY CORRECTION REQUIRED TO PIPE OR FACILITIES ALREADY INSTALLED DUE TO THE CONTRACTOR'S FAILURE TO LOCATE EXISTING UTILITIES AND OBSTRUCTIONS SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S EXPENSE.

19.

UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS, "IA-DOT STANDARD SPECIFICATIONS _____", CURRENT EDITION AND ALL LOCAL AND STATE CODES GOVERNING THE CONSTRUCTION OF THE PROPOSED FACILITIES.

20.

THE CONTRACTOR SHALL LIMIT THE AMOUNT OD TRENCH TO BE OPEN AT ANY GIVEN TIME TO A MAXIMUM OF FORTY (40) LINEAR FEET AS MEASURED ALONG THE CENTERLINE OF THE PROPOSED PIPE. ALL OPEN TRENCHED SHALL BE BACKFILLED AT THE END OF EACH DAY'S WORK AND IMMEDIATE MEASURES TAKE TO STABILIZE THE DISTURBED AREA.

21.

SHORT TUNNELS MAY BE REQUIRED BY THE ARCHITECT/ENGINEER AT SOME LOCATIONS WHILE CONSTRUCTING THE PROPOSED PIPELINES IN ORDER TO SAVE OBSTRUCTIONS SUCH AS TREES OR EXISTING PIPES WHICH ARE IN THE TRENCH WIDTH. THE COST OF SHORT TUNNELS SHALL BE INCIDENTAL TO THE CONTRACT.

22.

AFTER TRENCH HAS BEEN BACKFILLED, THE GROUND SHALL BE RETURNED TO EXISTING OR PROPOSED GRADE AND NO EXCESS EXCAVATED MATERIAL WILL BE SPREAD IN THIS AREA.

23.

THE CONTRACTOR SHALL SCHEDULE RELOCATION OF UTILITIES AND MAINTAIN UTILITIES IN SUCH A MANNER AS TO PROVIDE CONTINUOUS SERVICE TO THE EXISTING STRUCTURES THROUGHOUT CONSTRUCTION.

24.

UNLESS OTHERWISE INDICATED ON THE DRAWINGS, TOP OF WATER MAINS ARE TO BE SET IN THE FIELD AND SHALL HAVE A MINIMUM OF 42" OF COVER. ADJUST DEPTHS OF WATER MAINS TO AVOID EXISTING UTILITIES AND TO PROVIDE 18" MINIMUM VERTICAL CLEARANCE BETWEEN WATER MAINS AND SEWER MAINS.

25.

MANHOLE RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL NOT CUASE SEWAGE TO BE DISCHARGES IN WATERWAYS OR ONTO THE GROUND; NOR SHALL THE CONTRACTOR CAUSE BACKUP OF SEWAGE INTO BUILDINGS. SEWAGE SHALL BE DIVERTED BY PUMPING.

26.

THE CONTRACTOR SHALL COORDINATE WITH THE HAMILTON COUNTY CONSERVATION BOARD BEFORE OPERATING ANY WATER VALVES IN THE SYSTEM. NO VALVES SHALL BE OPERATED NOR ANY WATERMAINS SHUTDOWN WITHOUT PRIOR APPROVAL FROM THE HAMILTON COUNTY CONSERVATION BOARD.

27.

NO CONNECTION TO THE EXISTING SYSTEMS SHALL BE MADE UNTIL THE SUBJECT WATER, SEWER, FORCE MAIN, OR PLUMBING STATION HAVE BEEN INSPECTED, TESTED, AND ACCEPTED TO BE PLACED INTO SERVICE.

28.

EXISTING WATER LINES SHOWN ON THE DRAWINGS TO BE ABANDONED AND CONNECTIONS TO EXISTING WATER SERVICE LINES SHALL BE DONE ONLY AFTER PROPOSED WATER LINES HAVE BEEN INSTALLED, PRESSURE TESTED, DISINFECTED AND PUT INTO SERVICE.

29.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE ____ OF THE IA-DOT STANDARD SPECIFICATIONS. THE J.U.L.I.E. NUMBER IS _____. A MINIMUM OF FORTY- EIGHT HOURS ADVANCE NOTICE IS REQUIRED.

30.

EXISTING SIGNS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS DIRECTED BY THE ARCHITECT/ENGINEER.
- APPLICABLE IOWA - DOT SPECIFICATIONS
- 2101

CLEARING AND GRUBBING

2110

SOIL AGGREGATE SUBBASE
- APPLICABLE IOWA NRCS SPECIFICATIONS
- IA-3

STRUCTURE REMOVAL

IA-6

SEEDING AND MULCHING FOR PROTECTIVE COVER

IA-8

IA-23

EARTHFILL

IA-26

TOPSOILING

IA-31

CONCRETE
- UTILITY OWNERS
- GAS & ELECTRIC:

CITY OF WEBSTER CITY
ADAM DICKINSON
515-832-9159

TELEPHONE:

XXX
XXX
XXX-XXX-XXXX

WATER/SEWER:

CITY OF WEBSTER CITY
NICK KNOWLES
515-832-9146
- whks

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I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY ONLY - NOT FOR CONSTRUCTION

Name _____ Date _____

License No. _____

REVISIONS

NO.	DATE	DESCRIPTION

STANDARD NOTES

BRIGGS WOODS PUMPHOUSE REPLACEMENT
WEBSTER CITY, IA
2022

SCALE:
AS SHOWN

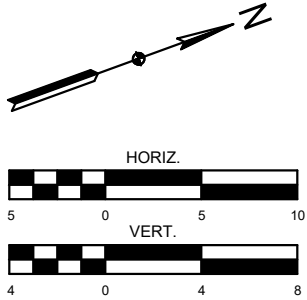
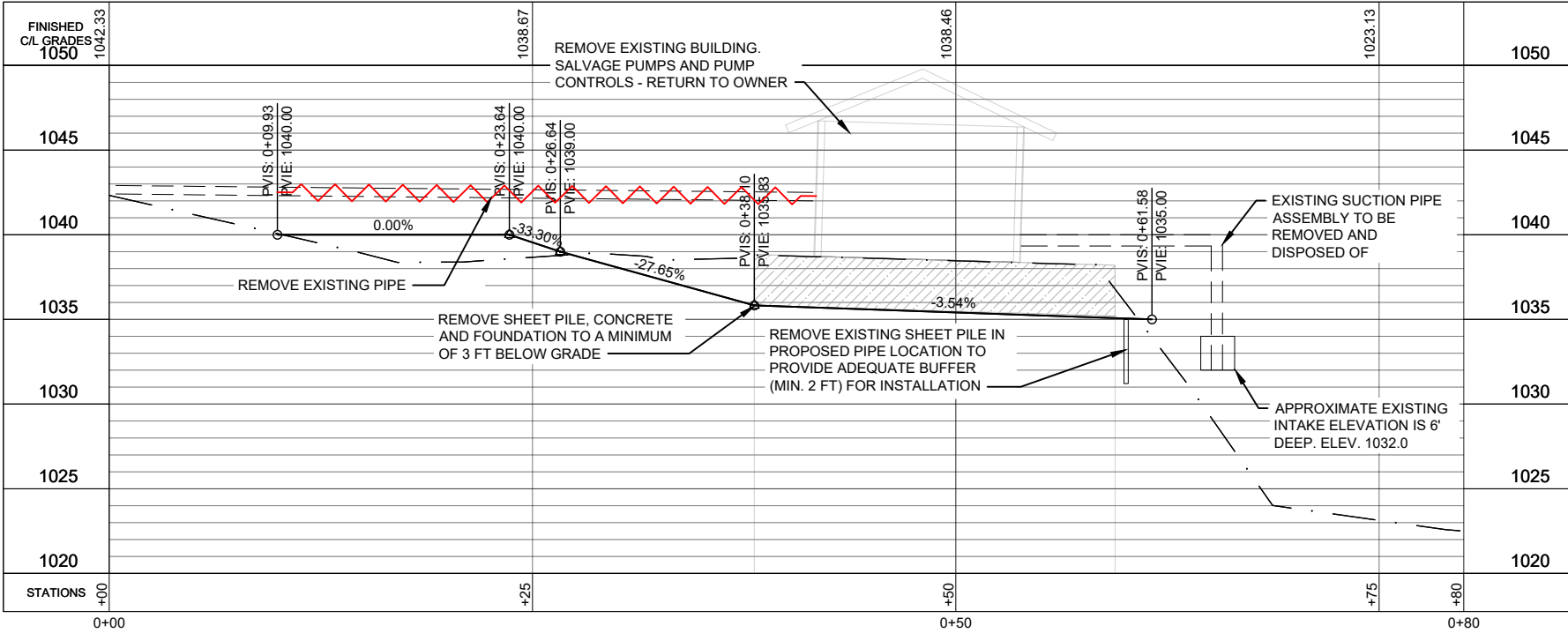
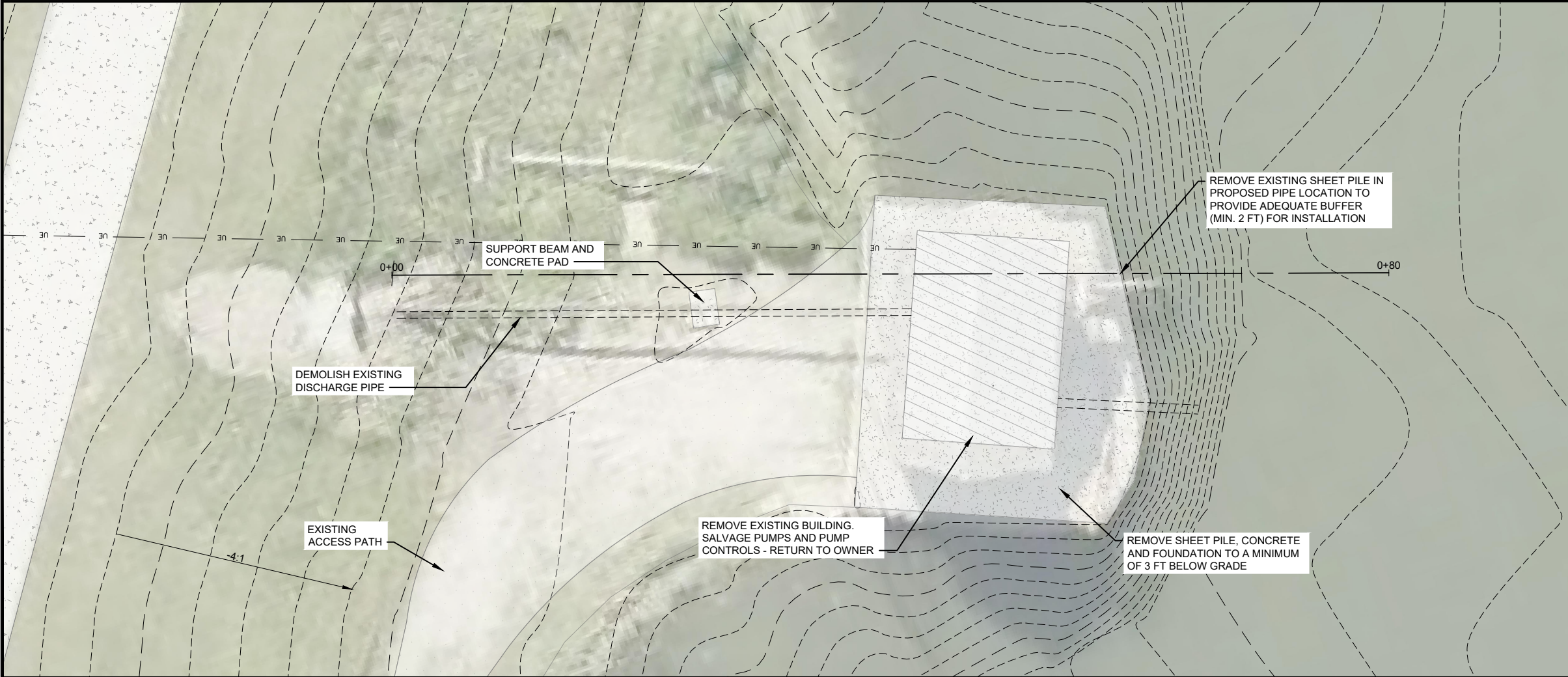
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9414

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xxx

CHECKED BY:
xx

SHEET

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NOTES:

1. CONTRACTOR SHALL RESTORE THE SITE ACCESS ROAD, GRADING, AND GRASS TO A CONDITION AT LEAST EQUAL TO WHAT EXISTED BEFORE CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DEWATER THE LAKE TO AN ELEVATION SUFFICIENT TO ALLOW FOR THE CONSTRUCTION OF THE INTAKE AND PIPE FOUNDATION
3. OWNER CAN LOWER THE LEVEL OF THE LAKE APPROXIMATELY 12-FT FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AROUND THE WETWELL IF REQUIRED.

EXISTING SITE PLAN & DEMOLITION

BRIGGS WOODS PUMPHOUSE REPLACEMENT
WEBSTER CITY, IA
2022

SCALE:	AS SHOWN
WHKS PROJECT NO.	9414
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CHECKED BY:	XX
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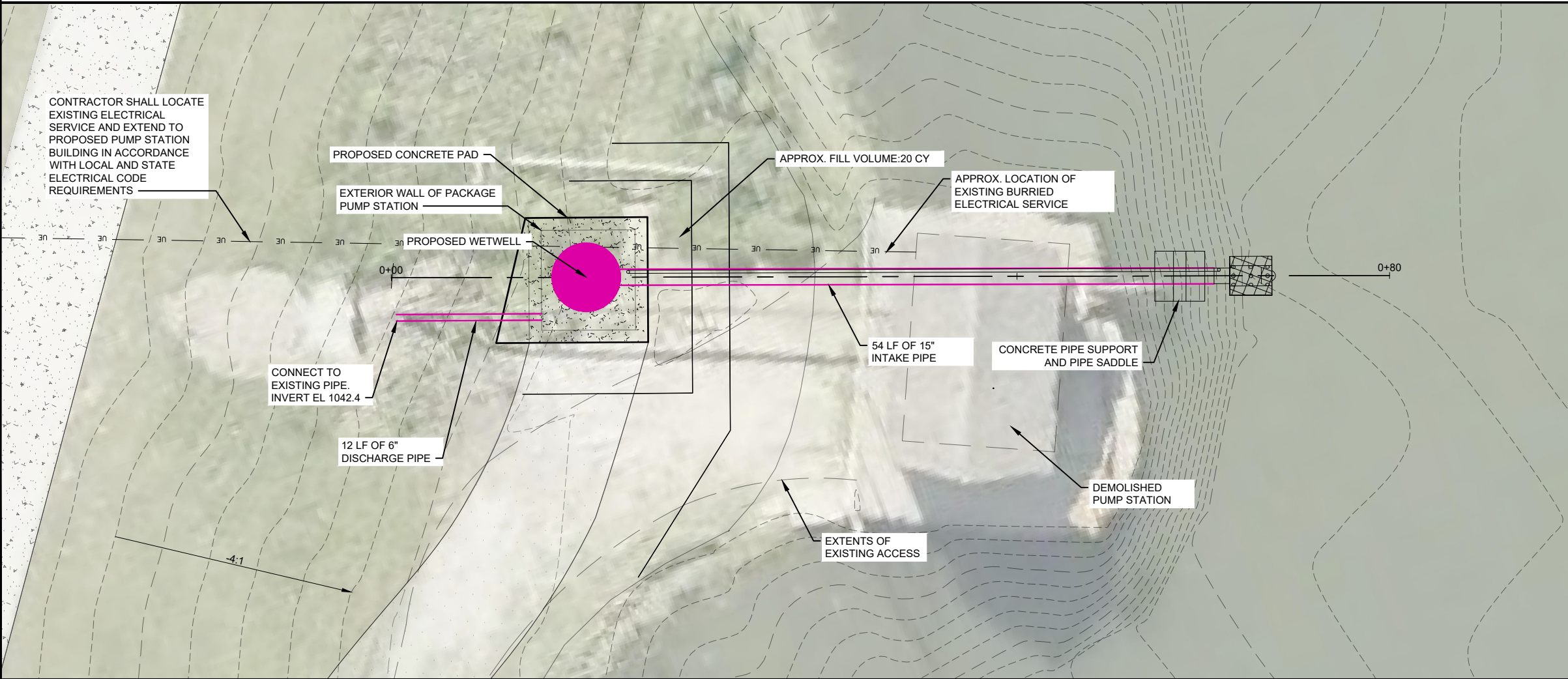
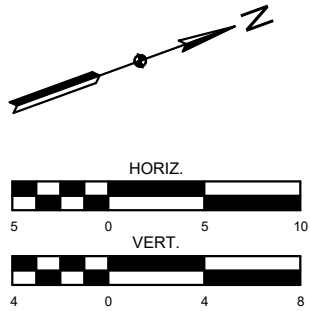
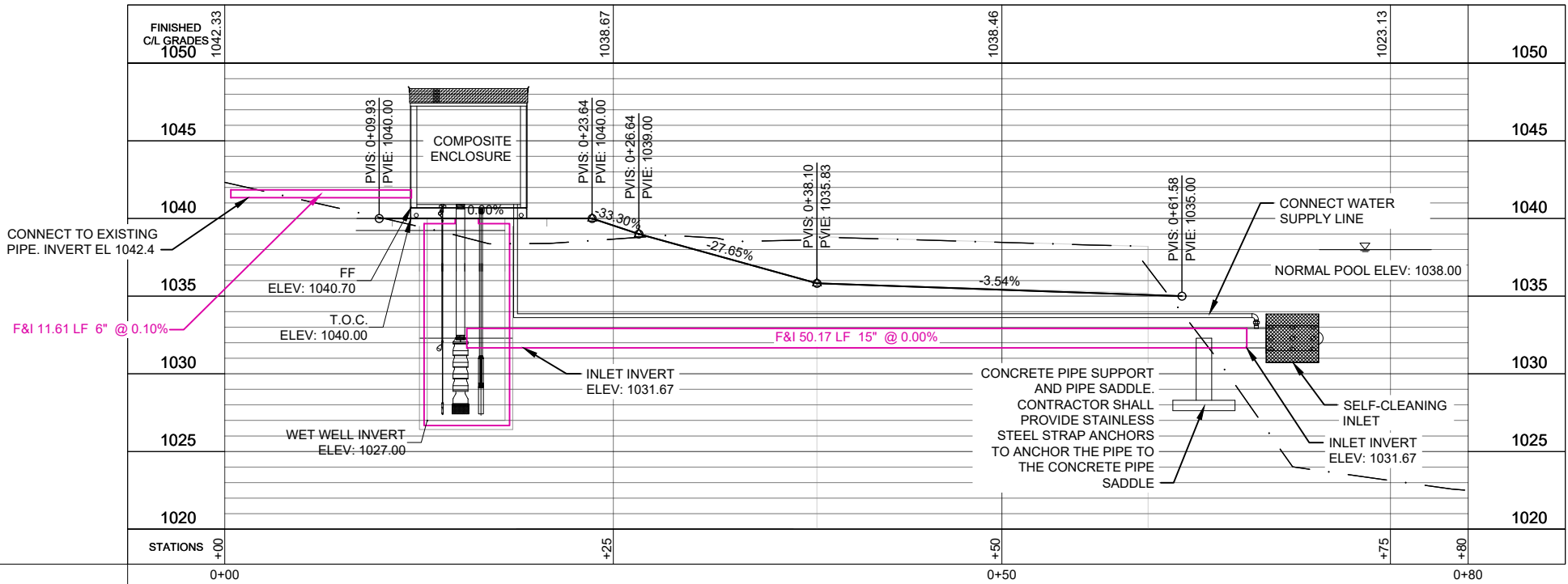
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Name _____ Date _____ License No. _____

NO.	DATE	DESCRIPTION

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- NOTES:**
1. CONTRACTOR SHALL RESTORE THE SITE ACCESS ROAD, GRADING, AND GRASS TO A CONDITION AT LEAST EQUAL TO WHAT EXISTED BEFORE CONSTRUCTION.
 2. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DEWATER THE LAKE TO AN ELEVATION SUFFICIENT TO ALLOW FOR THE CONSTRUCTION OF THE INTAKE AND PIPE FOUNDATION
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ESTIMATED EARTHWORK VOLUMES	
RAW CUT	0 CY
RAW FILL	17 CY
RAW CUT/FILL VOLUMES WERE COMPUTED USING THE PRISMOIDAL METHOD BY COMPARING THE EXISTING GROUND ELEVATIONS TO THE PROPOSED FINISHED GROUND ELEVATIONS. THE RAW CUT/FILL VOLUMES DO NOT ACCOUNT FOR VOLUMES OF EXISTING OR PROPOSED AGGREGATE, BITUMINOUS, CONCRETE, OR PROPOSED BUILDING FOOTINGS/FOUNDATION WALLS OR SOILS CORRECTIONS.	



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NO.	DESCRIPTION

PROPOSED SITE PLAN

BRIGGS WOODS PUMPHOUSE REPLACEMENT
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AS SHOWN

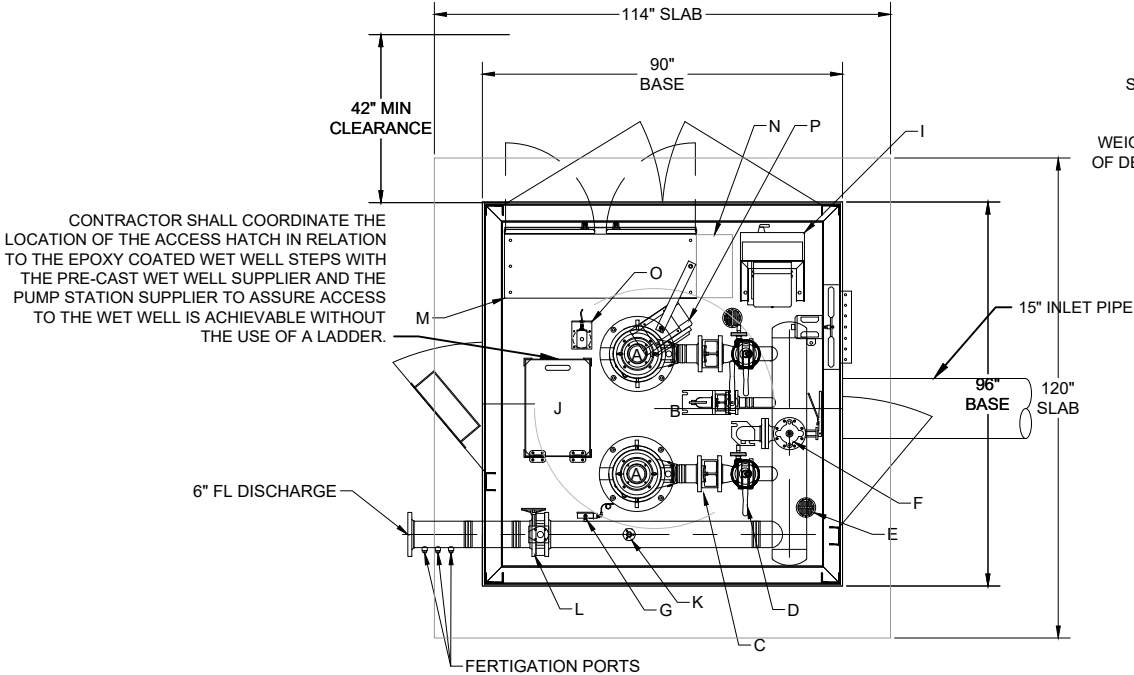
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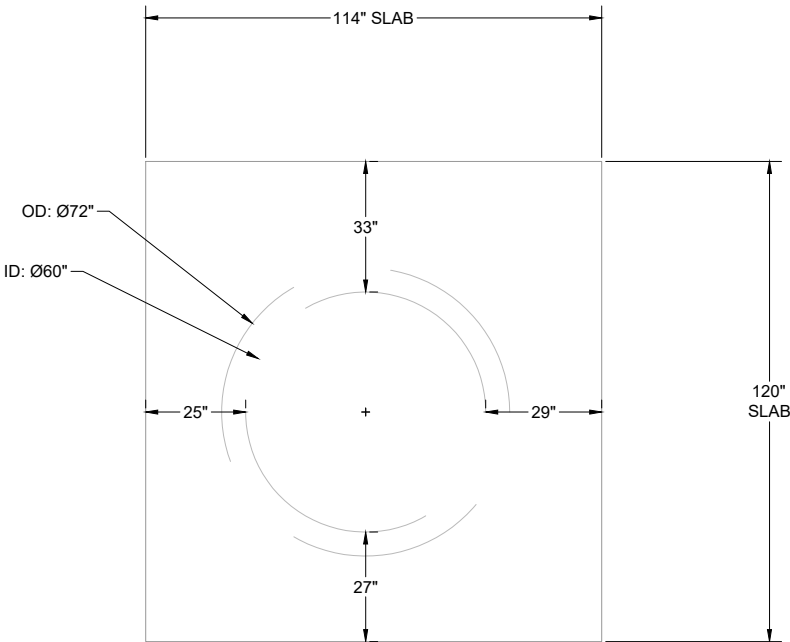
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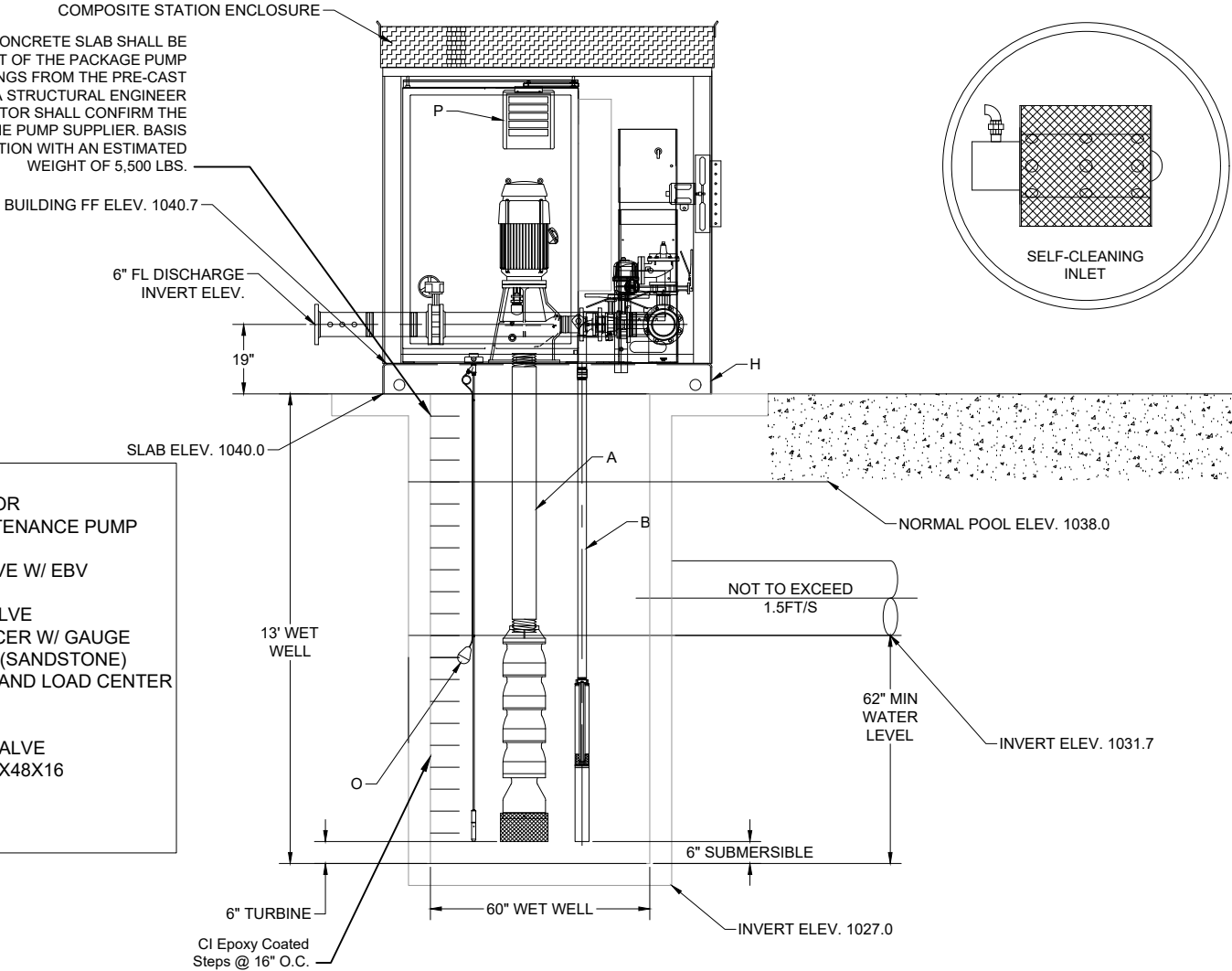
 **PUMP STATION – PLAN VIEW**
1" = 2'



 **WETWELL – PLAN VIEW**
1" = 2'

PRE-CAST MANHOLE AND PUMP STATION CONCRETE SLAB SHALL BE DESIGNED TO SUPPORT THE ENTIRE WEIGHT OF THE PACKAGE PUMP STATION. CONTRACTOR SHALL SUBMIT DRAWINGS FROM THE PRE-CAST MANUFACTURER SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF IOWA. CONTRACTOR SHALL CONFIRM THE WEIGHT OF THE PACKAGE PUMP STATION WITH THE PUMP SUPPLIER. BASIS OF DESIGN WAS A WATERTRONICS, INC. PUMP STATION WITH AN ESTIMATED WEIGHT OF 5,500 LBS.

- STATION COMPONENTS:**
- A 30HP PUMP AND MOTOR
 - B 3HP PRESSURE MAINTENANCE PUMP
 - C CHECK VALVE
 - D PUMP ISOLATION VALVE W/ EBV
 - E DRAIN
 - F PRESSURE RELIEF VALVE
 - G PRESSURE TRANSDUCER W/ GAUGE
 - H PAINTED STEEL BASE (SANDSTONE)
 - I 3KVA TRANSFORMER AND LOAD CENTER
 - J 24" X 16" HATCH
 - K FLOW SENSOR
 - L STATION ISOLATION VALVE
 - M CONTROL CABINET 75X48X16
 - N HEAT EXCHANGER
 - O LEVEL SENSOR
 - P 5KW HEATER



 **PUMP STATION & WETWELL – PROFILE VIEW**
1" = 2'

PUMP STATION SPECIFICATIONS:
NAME: BRIGGS WOODS GOLF COURSE
STATION MODEL:
VTVE-1-30X2/3ST-460-3-600-120
STATION TOTAL PERFORMANCE:
600 GPM @ 120 PSI
PUMP HORSEPOWER:
SUSTAIN PUMP: 3HP
PUMP NO.1-2: 30HP
CHECK VALVE SIZE
SUSTAIN: 2"
PUMP NO.1-2: 4"
ISOLATION VALVE SIZES:
SUSTAIN PUMP: 2"
PUMP NO.1-2: 3"

DISCHARGE ISOLATION VALVE: 6"
RELIEF VALVE SIZE: 3"
PUMP STATION DISCONNECT: 200 AMP

POWER REQUIREMENTS:
460V, 60 HZ, 3 PH, 86 FLA

EXHAUST FAN REQ'D FOR BUILDING:
1037 CFM

WET WELL DIMS: Ø60"


WET WELL DEPTH: TBD

MAIN LINE CONNECTION: 6" FL
NOMINAL PIPE SIZE: N/A
ACTUAL O.D.: N/A
TYPE:

DROP PIPE COVER: N/A

INTAKE FLUME SIZE: N/A

INTAKE FLUME MATERIAL: N/A



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